

# 3 Westmeston Avenue

BH2023/02672

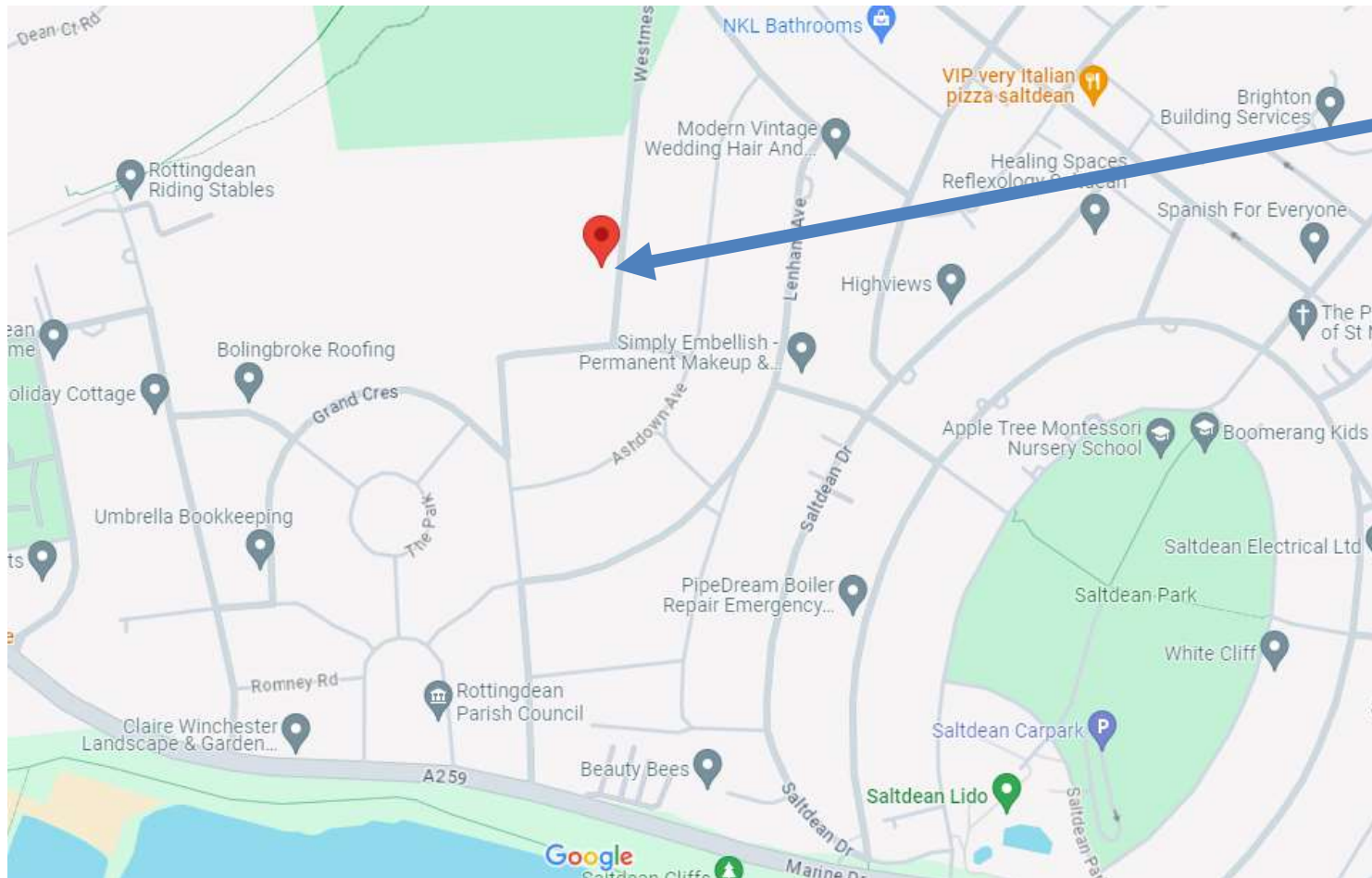


Brighton & Hove  
City Council

# Application Description

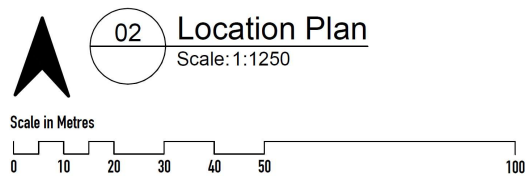
- Roof alterations and extension including raising the roof ridge height, erection of single storey front extension and two-storey rear extension. Remodelling of the existing property.

# Map of application site

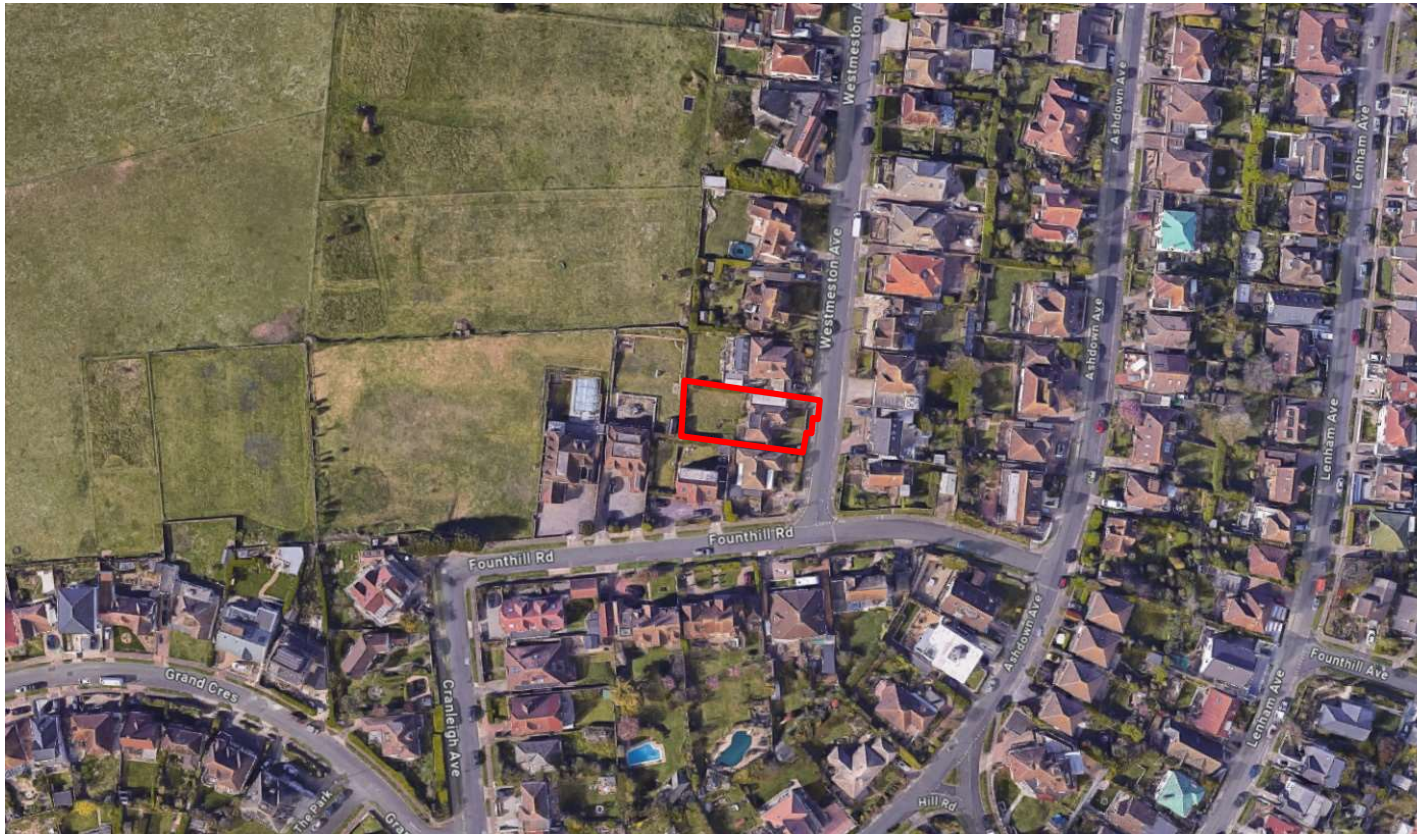


Site

# Location Plan



# Aerial photo of site



Brighton & Hove  
City Council



# 3D Aerial photo of site

---



# Street photo of site

---



Brighton & Hove  
City Council



# Boundary with No.1 (left) and No.5 (right)





# Rear Boundary with No.1 (left) and No.5 (right)

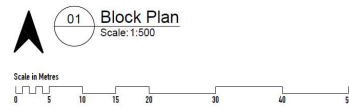


Brighton & Hove  
City Council

# Rear views from existing first floor windows



# Existing Block Plan



# Proposed Block Plan



01 Block Plan  
Scale: 1:500



98

002 B



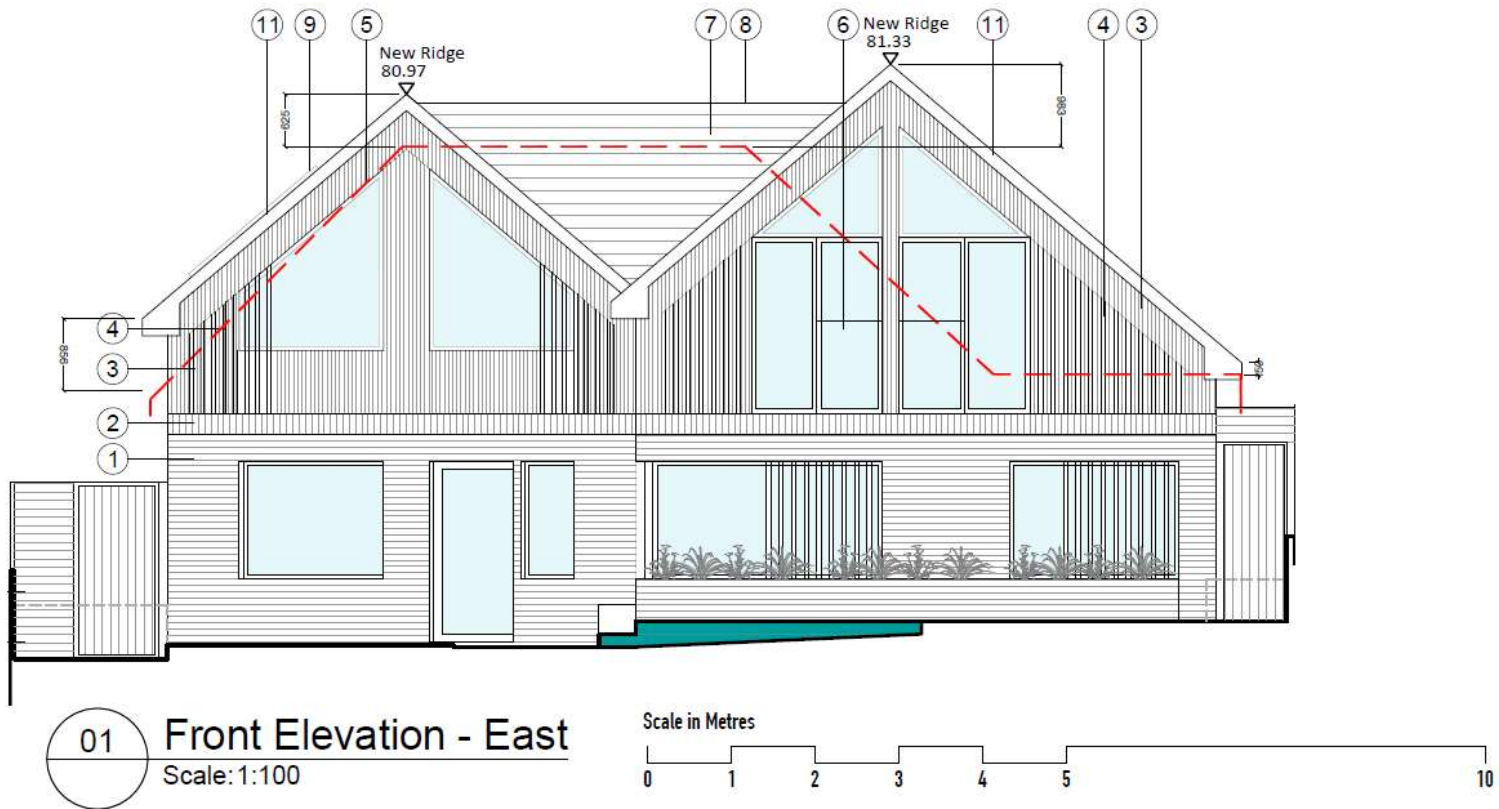


# Existing Front Elevation



060 A

# Proposed Front Elevation



88

160 F



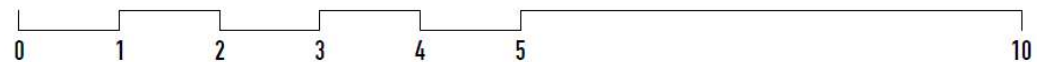
# Existing Rear Elevation



68

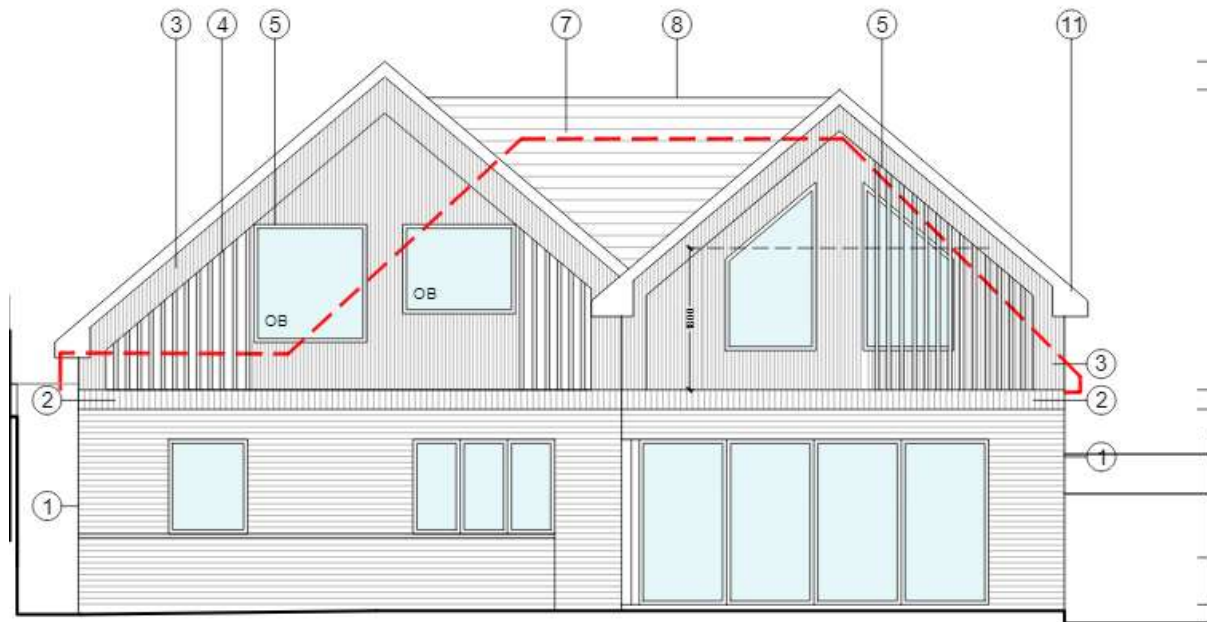
02 Rear Elevation - West  
Scale: 1:100

Scale in Metres



060 A

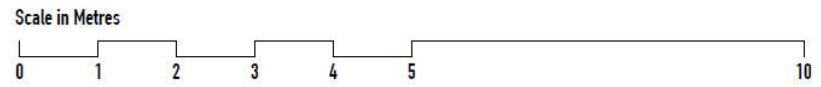
# Proposed Rear Elevation



**MATERIAL KEY**

1. Red brick to match existing
2. Red brick soldier course
3. Vertical black timber cladding
4. Vertical cedar fins
5. Black Aluminium windows/doors
6. Juliet Balcony
7. Roof tiles
8. Flat roof
9. Solar Panels
10. Roof lights
11. Black soffit and fascias

02 **Rear Elevation - West**  
Scale: 1:100

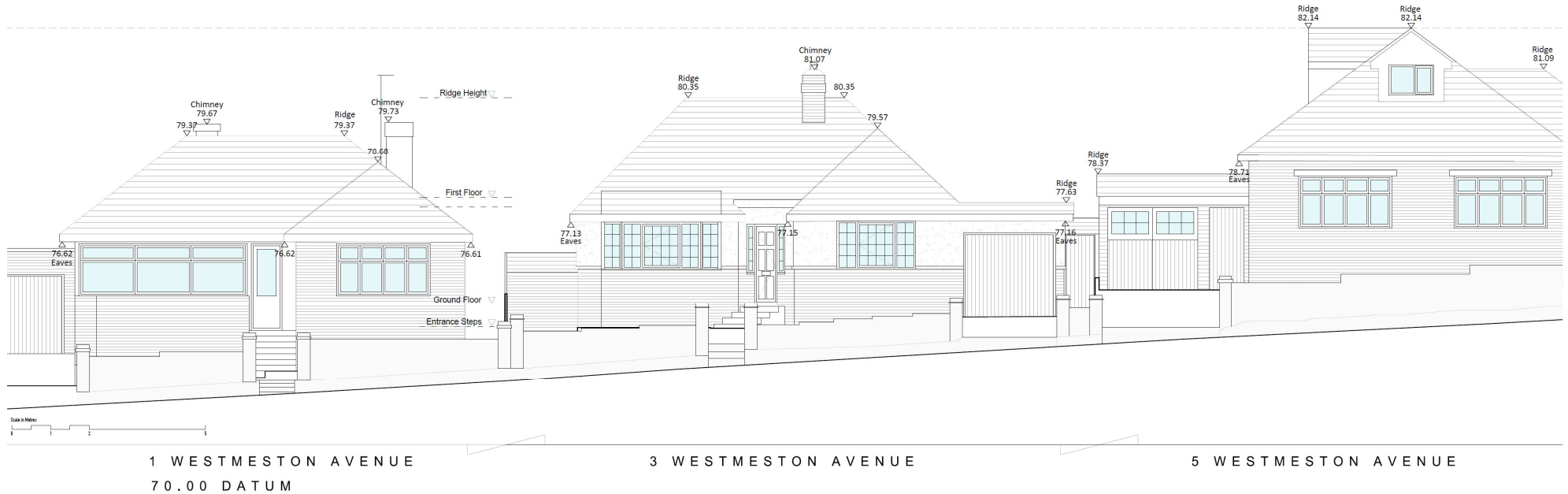


06

160 F



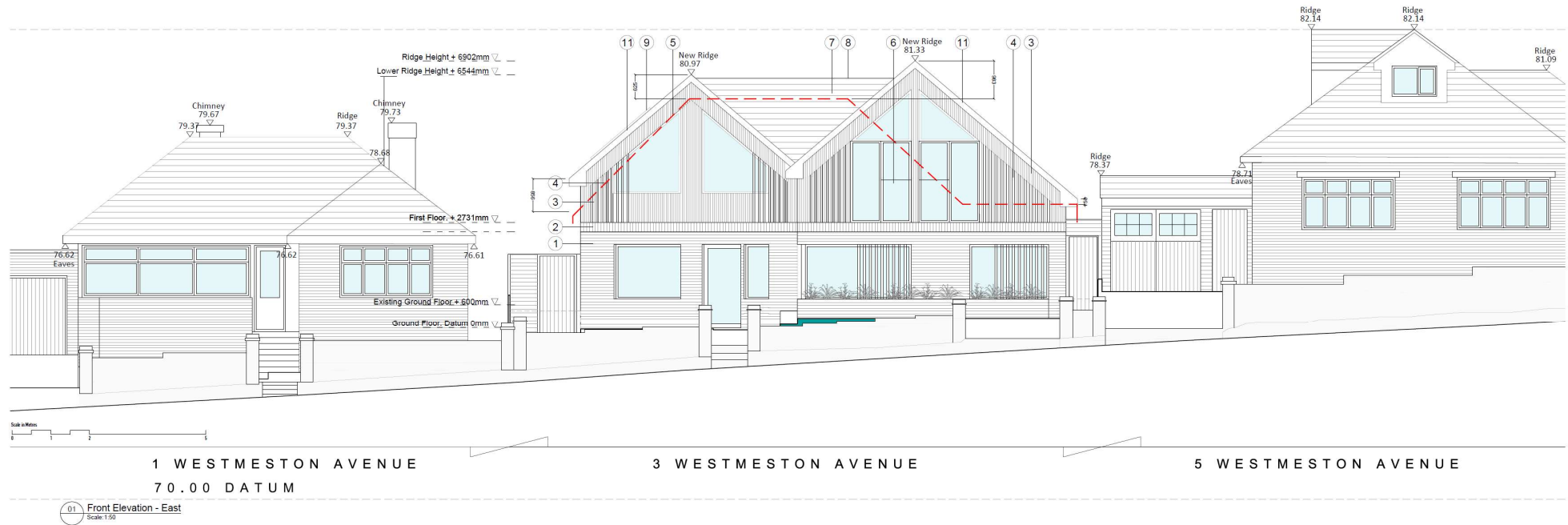
# Existing Contextual Front Elevation



01 Front Elevation - East  
Scale: 1:50

061 A

# Proposed Contextual Front Elevation



161 D

# Proposed Contextual Rear Elevation



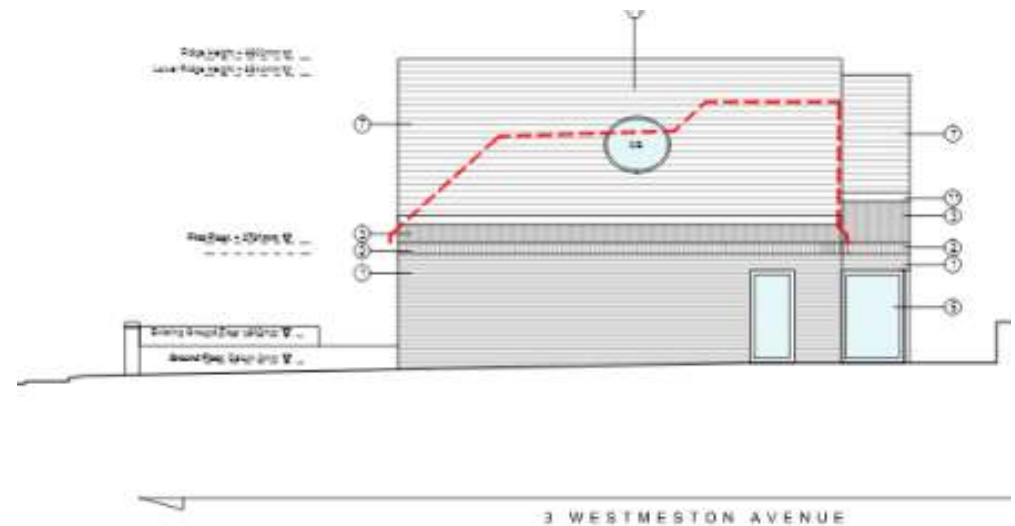
160 F

# Proposed Elevations

## South Elevation



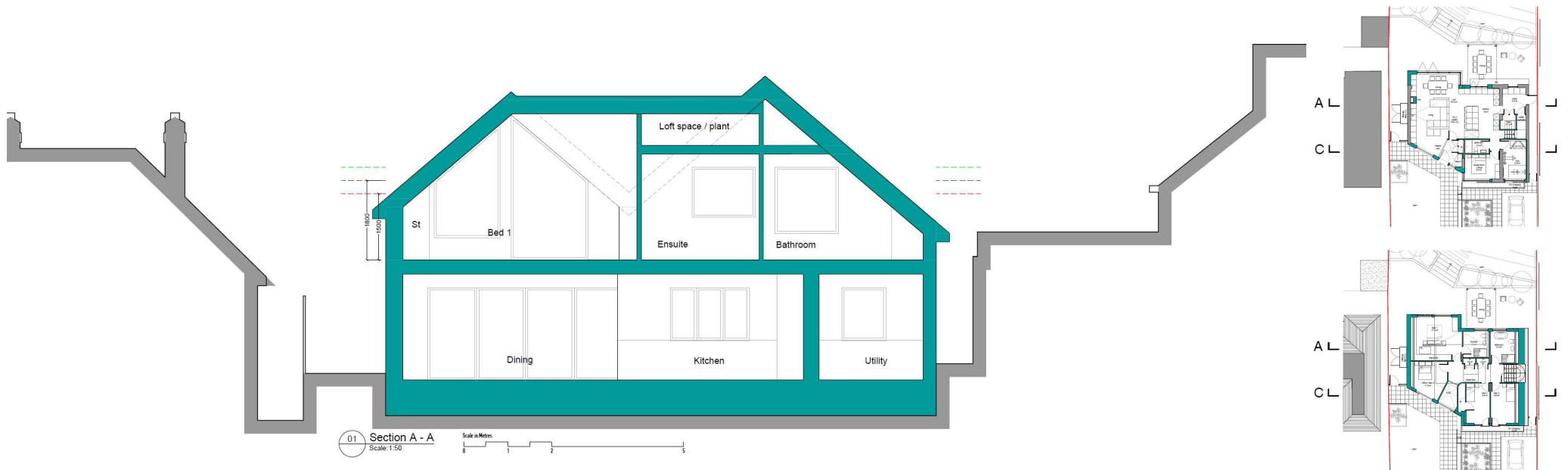
## North Elevation



04 Side Elevation - North  
Scale: 1:100

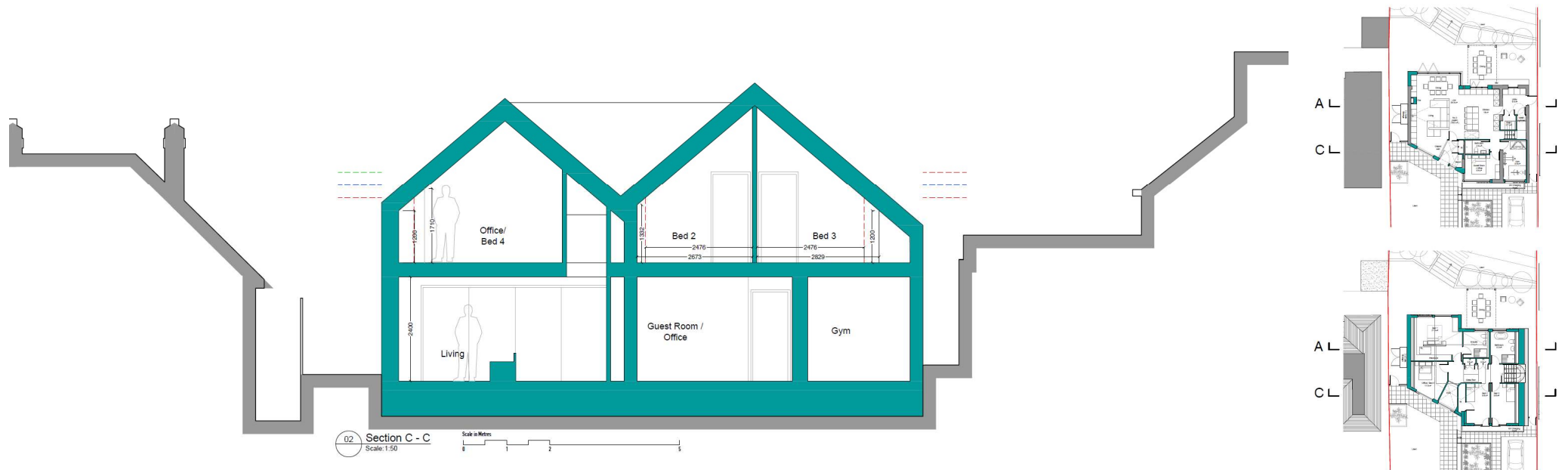


# Proposed Site Section(s)



170 B

# Proposed Site Section(s)



96

170 B

# Proposed Visual

---



97

160 E

# Proposed Visuals

---

98



161 D



# Proposed Visual(s)

---

01 Visual of proposal, looking North  
Scale: N/S



66

162 A

# Proposed Visual

---

02 View of proposal, looking South  
Scale: N/S



100

162 A

# Proposed Visual

---



03 Visual of proposal in street scene  
Scale: N/S

101

162 A

# Representations

---

Comments have been received from **six** (6) different interested parties objecting to the proposed development on the following grounds:

- Noise
- Overdevelopment
- Height
- Overshadowing
- Loss of daylight
- Out of character with area
- Insufficient parking
- Loss of views
- Demolition of existing building
- Loss of sunlight
- Incorrect calculations/conclusions in daylight and sunlight report

# Representations

---

Four (4) representations in support on the following grounds:

- In keeping with the diverse character of the street
- Good design
- Many bungalows remodelled
- Minimal overshadowing
- Design in keeping with recent developments in the road
- Good intensification of existing property



# **Key Considerations in the Application**

---

- Design and appearance
- Impact on amenity of neighbouring properties



# Conclusion and Planning Balance

- Appearance would not cause any significant harm to area - contemporary design in a street with varying designs.
- Impact on neighbours acceptable: no significant increase in overlooking, loss of daylight and outlook minimal.

**Recommend: Approval**

