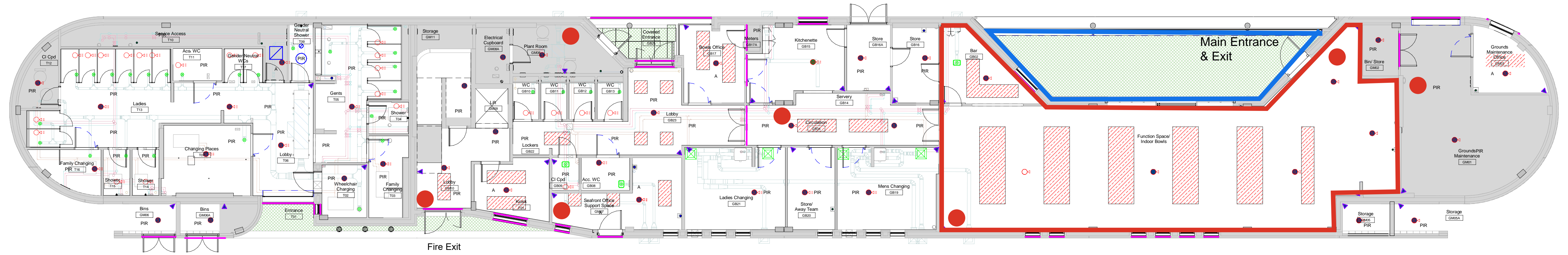


Appendix B



Ground Floor Reflected Ceiling Plan

1 : 100 @A1

Luminaire Legend

- Tegan 2
 - Esprit
 - Trimpak
 - Trimpak
 - ACL
 - Recessed EM downlight
 - PIR Passiver Infrared Detector
 - A Absence Detector
- Foam Fire Extinguisher
 - Licensable Activity
 - Consumption Area

Fire Alarm Legend

- Optical Smoke Detector
- Heat Detector
- Base Sounder
- Base Sounder Beacon

Intruder Alarm Legend

- ◀ PIR Detector

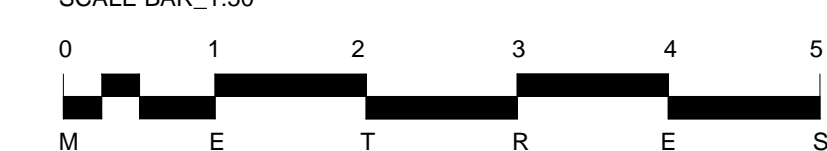
Vent Legend

- Ceiling Vent
- ⊞ Ceiling Fan
- ⊞ Ceiling MVHR Vent

HOVE & KINGSWAY BOWLING CLUB
 BOWLS CLUBHOUSE, OUTDOOR SPORTS HUB,
 KINGSWAY, HOVE, BN3 4GP



SCALE BAR_1:50



Scale
 1 : 100 @A1



Notes
 All dimensions must be checked on site and NOT scaled from this drawing. Any discrepancies are to be reported to the architect prior to construction.

© Untitled Practice LLP
 All rights described in Chapter IV of the Copyright Designs and Patents Act 1988 have been asserted.

Q&A Health & Safety:
 Refer to Principal Designer / CDM Advisor's project risk schedules, and the pre-construction information, including site survey and utilities information.
 Contractors to follow risk assessments and working method statements described in the pre-construction phase plan to mitigate all project risks.
 Proceed with caution at all times. If in doubt, ask.

KEY
 Site Boundary

- Completed by others, see notes for further info
- Q22 Pathways / Ramps - primary route - asphalt, vehicle access
- Q22 Pathways / Ramps - permeable asphalt
- Q22 Pathways - asphalt refurbishment
- F31 Steps - concrete
- Existing Hedge, retained
- Q30 Lawn Turf
- Q30 Lawn Seeding
- Q30 Meadow Seeding
- Q30 Lawn Meadowscape Pro
- Q30 Meadow Meadowscape Pro
- Q31 Perennial Planting - Mix A
- Q31 Perennial Planting - Mix B
- Q31 Perennial Planting - Mix C
- Q31 Perennial Planting - Mix D
- Q31 Perennial Planting - Mix E
- Q31 Perennial Planting - Mix F
- Q31 Perennial Planting - Mix G
- Q31 Perennial Planting - Mix H
- Q31 Perennial Planting - Mix I
- Q31 Perennial Planting - Mix J
- Q31 Wall Planting (to existing N wall slot)
- Q31 Wall Planting (to new N wall slot) (requirement tbc)
- Q30 Tree - Existing relocated
- Q30 Tree - Whip
- Q30 Tree - Multi-Stem Small
- Q30 Tree - Multi-Stem Medium
- Q30 Tree - Indicative tree pit size
- Q50 Seating (standard & bespoke)
- Q50 Tables w. benches
- Q52 Angular boulder seating
- Q52 Scramble boulders
- Q50 Bollards (fixed)
- Q50 Bollards (removable)
- N91 Wayfinding Totem Sign
- N91 Wall Sign
- V91 Lighting - Pathway (accessible route & cross-routes), 6m
- V91 Lighting - Sports (Wheeled Sports / Tennis / Padel / Sand), 6m
- V91 Feeder pillar (sports / events)
- V91 Feeder pillar (public realm lighting)
- Existing CCTV (retained)
- V91 Proposed CCTV (column & camera by others)
- Q10 Slot Drain & R13 Infiltration Trench Drainage, see Engineer's info
- S14 Water point for irrigation
- Existing Drinking Fountain (retained)
- Proposed Drinking Fountain
- Vehicle access point
- Grid lines (relative to TOPO survey)
- Existing levels
- Proposed levels
- Proposed indicative contours
- Proposed indicative foundations

NOTES:
 Refer to Landscape Architect's (Untitled Practice) detail drawings, schedules, and specification for further information.
 Refer to Architect's (City Build) information for details on all Building works including: Outdoor Sports Hub, Tennis Pavilion, and Lagoon Toilets.
 Refer to Specialist Designer's (Maverick and Velo Solutions) information for details on Skate Plaza and Pump Track.
 Refer to Lighting Designer's (Studio Dakka) information for details on Lighting.
 Refer to Civil Engineer's (HSP) information for details on all civils.
 Refer to Soil Specialist's (TDH) information for details on soil management.
 Refer to Electrical Contractor's (Beahill) information for details on electrical layouts.
 Refer to M&P Services Contractor (Panc Management) information for details on irrigation.

Base plan made up of OS Mastermap data under license from BHC and topographic site survey from Laser Surveys 01.11.2021.
 Note: Topo shown in grey to background of proposed drawing throughout for reference.

Revisions

Rev	Date	Description
01	2024/04/30	Stage 5 Construction Issue
02	2024/06/17	Planning Issue - Conditions
03	2024/07/11	Stage 5 Construction Issue - Updates



UNTITLED PRACTICE
 Unit D219, Parkhall Workspace
 40 Martell Road, London SE21 8EN
 020 8670 0778
 office@untitledpractice.com
 www.untitledpractice.com

client Brighton & Hove City Council
job no. 2102
job title Kingsway to the Sea
drg title General Arrangement Proposed Plan Zone 8 - Bowls / Garden [7 of 8]
drawn UP
checked UP
scale 1:200 @ A0
date Jul 2024
status Construction
drg no. KTTs-UP-8-ZZ-DR- L-P116_1 **rev** C03