

132 Kings Road

BH2024/02268

5th February 2025



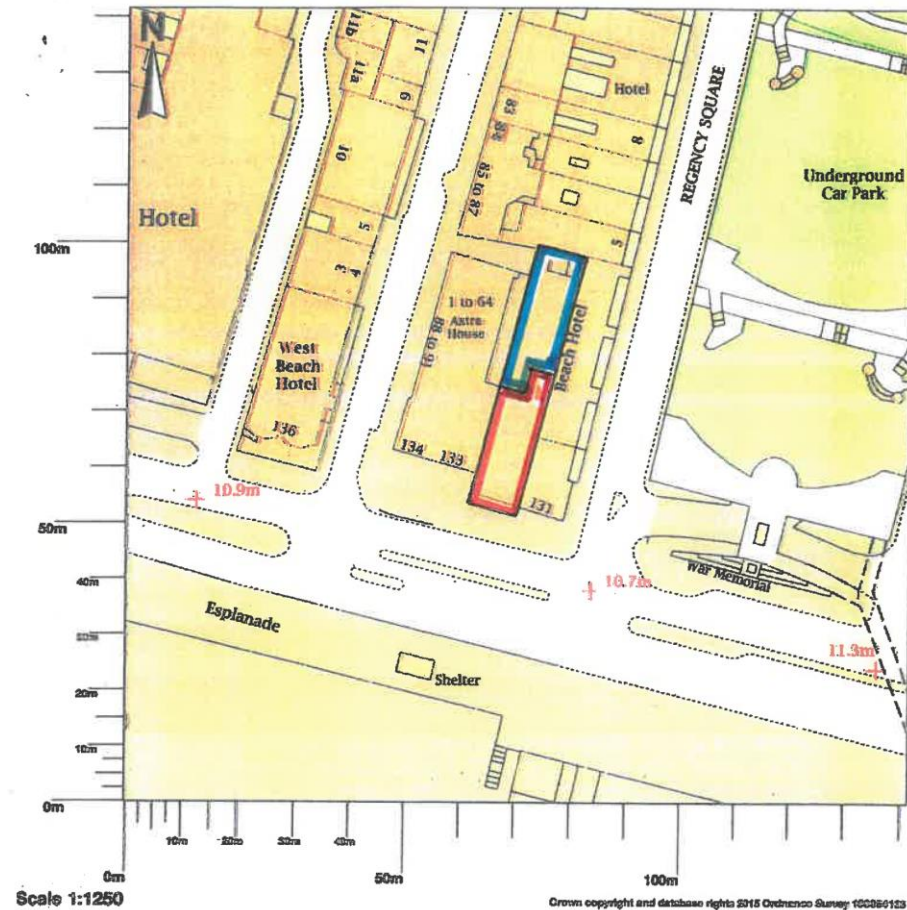
Brighton & Hove
City Council

Application Description

Alterations to existing building comprising:

- ▶ Replacement flat roof including extension to rear
- ▶ Masonry balustrade to front elevation
- ▶ Timber sash windows to front elevation
- ▶ Revised fenestration to rear elevation.

Existing Location Plan



Aerial Photo of Site



3D Aerial Photo of Site



Existing Streetscene



Photos – Existing rear dormer windows



Front Elevation – existing/ proposed



Historic Photos with Balustrade



ORIGINAL SOUTH ELEVATION

Visual Front – Existing/ Proposed

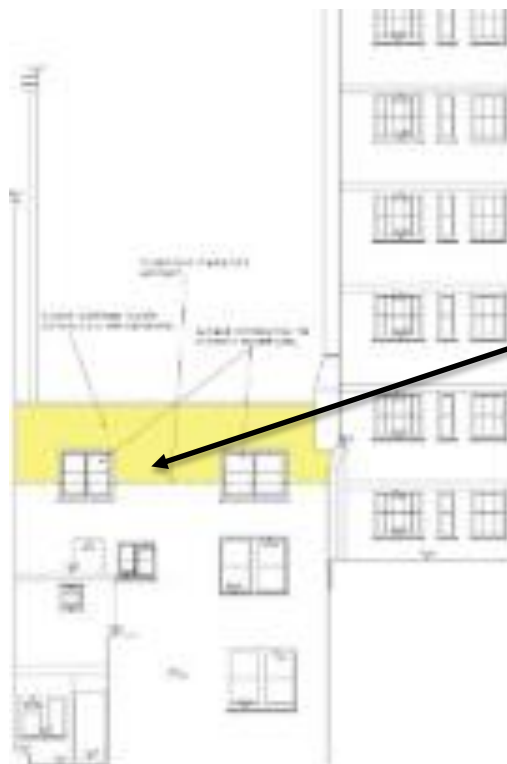


Rear Elevation – existing/ proposed



NORTH EXISTING

DATE: 10/10/2019

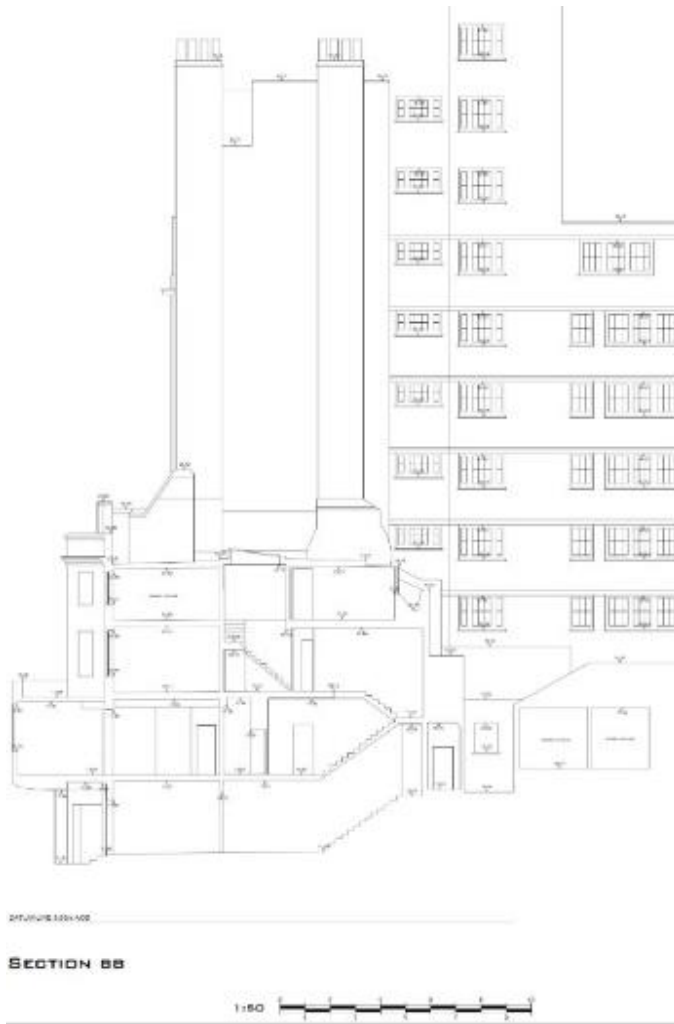


NORTH PROPOSED

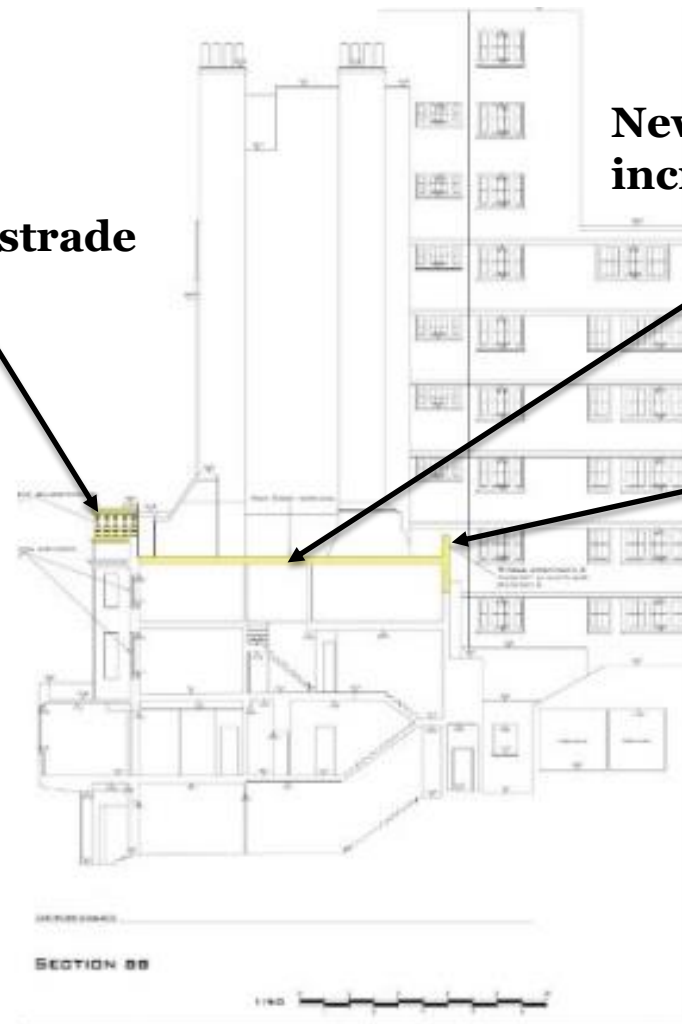
DATE: 10/10/2019

New Roof and
Windows

Section – Existing/ Proposed



New Balustrade



New Roof – height increase 0.2m

New Squared Off Parapet and Extension

Representations

Nine (9) representations have been received objecting:

- ▶ Visual impact/ poor design
- ▶ Excessive height
- ▶ Overdevelopment
- ▶ Impact on heritage assets
- ▶ Neighbour amenity impacts
- ▶ Impact of additional traffic
- ▶ Increased noise from the new property
- ▶ Conflicts with the commercial use
- ▶ Would result in structural issues
- ▶ Lack of infrastructure provision
- ▶ Lack of consultation

Councillor Alison Thomson has made a representation objecting to the application.

Representations which include objections relating to structural integrity and inconvenience and disturbance from the build are noted, however are not material planning considerations.

Full details of the representation received can be found online on the planning register.

Key Considerations

- ▶ Design, Appearance and Heritage Impacts
- ▶ Impact on Neighbour Amenity

Conclusion and Planning Balance

- ▶ No identified harm to the building's historic interest, nor to the fabric or setting of the neighbouring grade II* listed building or the special interest of the locally listed Astra House.
- ▶ Proposed balustrade and sash windows would reinstate, much welcomed, architectural character to the building and would be of significant benefit to the character and appearance of the property and conservation area.
- ▶ No significant impact on neighbouring amenity.
- ▶ Improved head height to existing Third Floor Flat bringing it in compliance with Nationally Described Space Standards (NDSS).

Recommend: Approval

