

52 Brunswick Place

BH2024/02421

5th February 2025

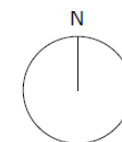
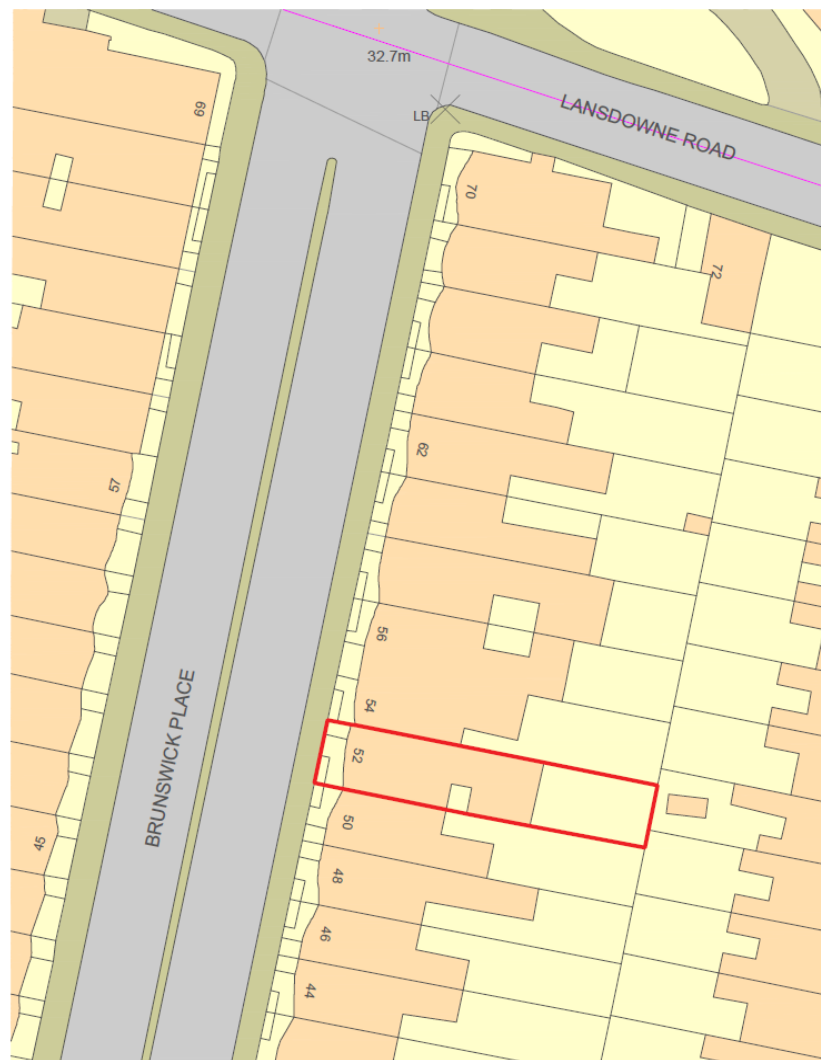


Brighton & Hove
City Council

Application Description

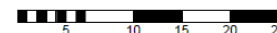
- ▶ Removal of external spiral staircase and relocation of existing fire escape,
- ▶ Installation of French doors to allow access to lower ground floor & ground floor courtyards,
- ▶ Minor internal reconfigurations to provide additional bedroom to Flat 1,
- ▶ New access and provision of terrace area for Flat 2 with privacy screening

Location Plan



OS MAP - SCALE 1:500

Scale in Metres



Aerial Photo of Site



3D Aerial Photo of Site



Photo of Site showing rear elevation



Rear elevation showing existing spiral staircase



Rear elevation, lower ground floor



Photo of site showing rear walkway and garden



Proposed Plans (lower, ground and first)



D01 - New Period correct french doors with brick arch lintel over - see accompanying 1.5 Details

New cast metal period staircase to terrace

Remove dilapidated external fire escape / make good existing lime render wall finish

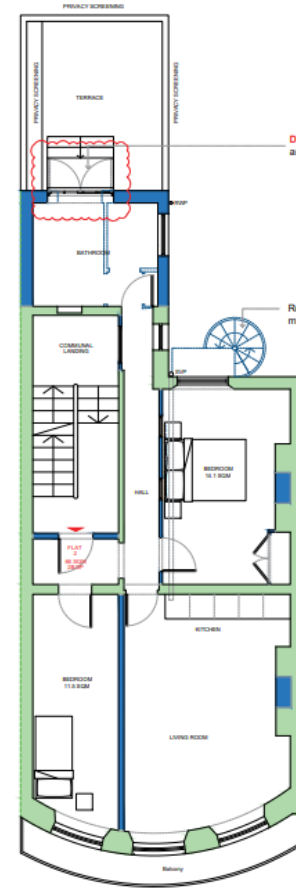


D02 - New Period correct french doors with brick arch lintel over - see accompanying 1.5 Details

New cast metal period staircase to terrace

Remove dilapidated external fire escape / make good existing lime render wall finish

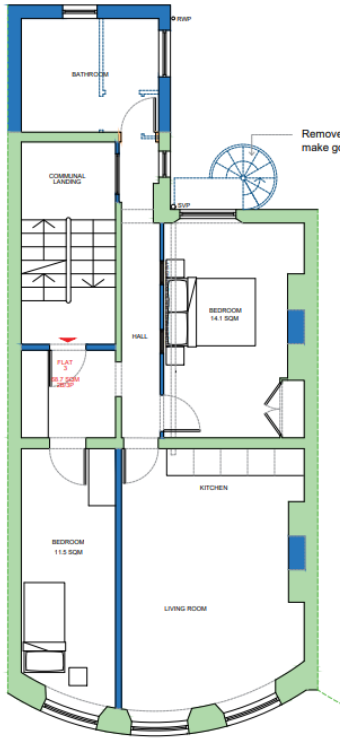
New minimal intervention opening to load bearing wall to create en-suite



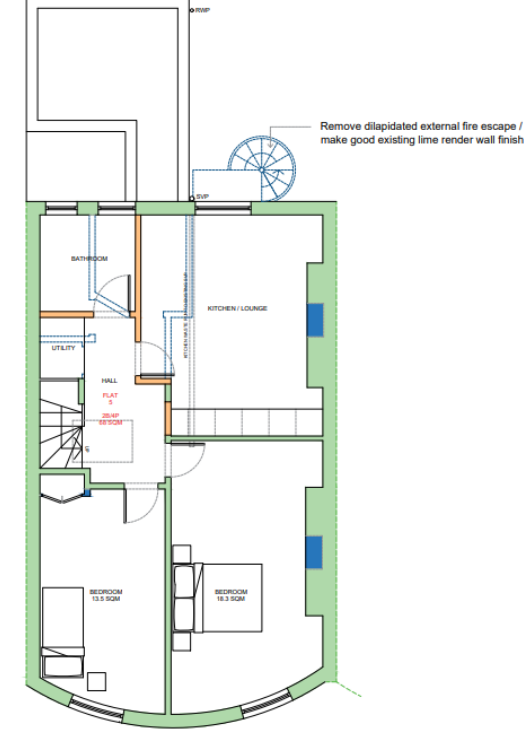
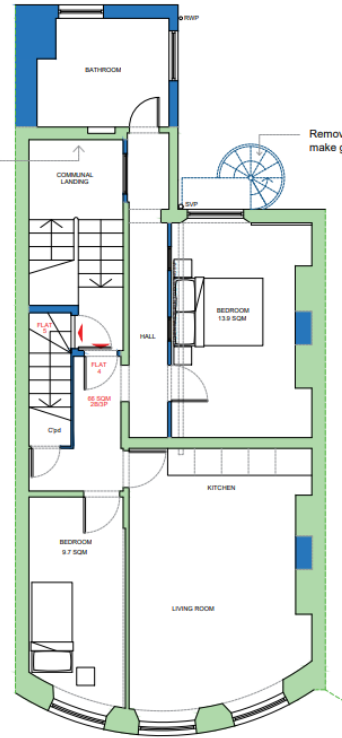
D03 - New Period correct french doors with brick arch lintel over - see accompanying 1.5 Details

Remove dilapidated external fire escape / make good existing lime render wall finish

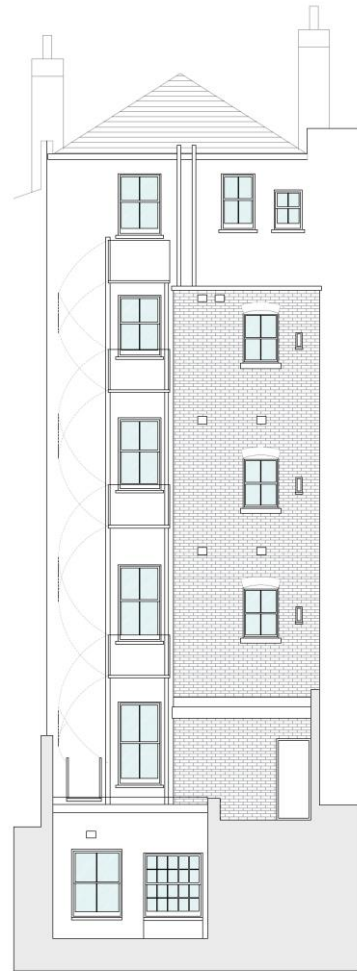
Proposed Plans (second, third and fourth)



Existing High Level Sash - new AOV



Existing & Proposed Rear Elevation



East Elevation - Existing



Existing



East Elevation - Proposed



Proposed

Remove dilapidated external fire escape /
make good existing lime render wall finish

D03 - New Period correct french doors with brick
arch lintel over - see accompanying 1.5 Details

New frosted glass privacy screen

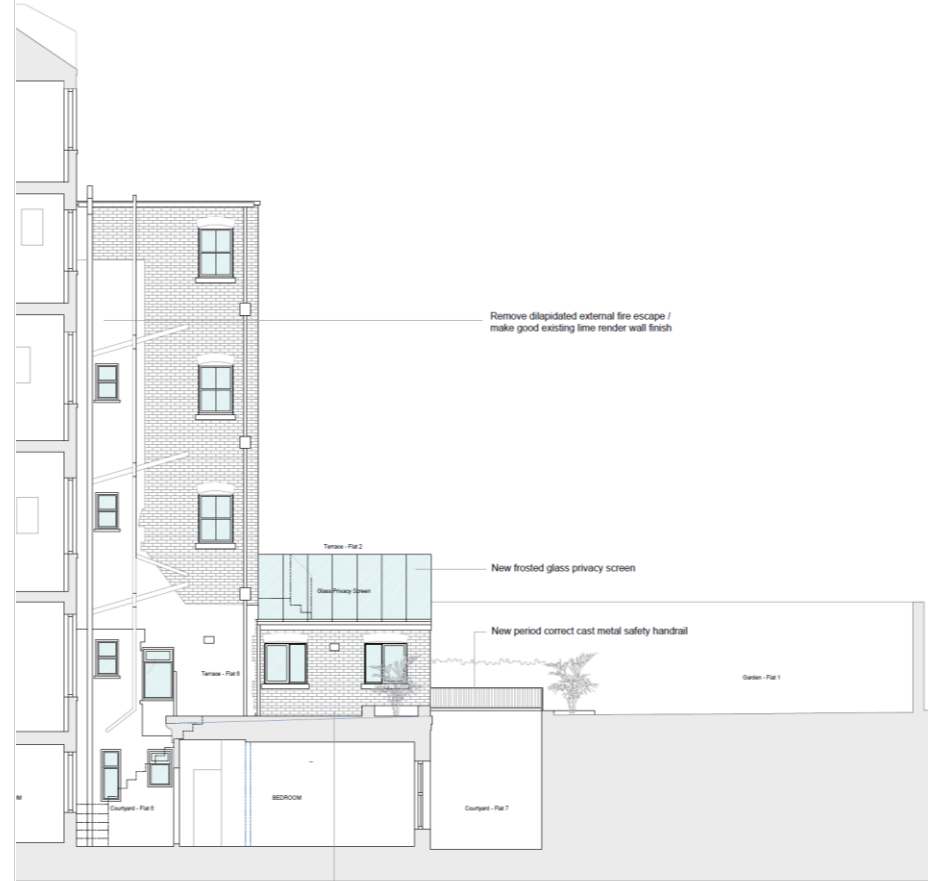
D02 - New Period correct french doors with brick
arch lintel over - see accompanying 1.5 Details

D01 - New Period correct french doors with brick
arch lintel over - see accompanying 1.5 Details

Existing & Proposed South Elevation



Existing



Proposed

Existing and Proposed North Elevation



Representations

Five (5) letters of objection have been received, summarised as follows:

- Harm to amenity of neighbours through increased noise, loss of light and loss of privacy
- Design harms grade II listed building
- Lack of engagement by developer
- Loss of property value

Key Considerations

- ▶ Design and appearance, including impact on heritage assets
- ▶ Impact on neighbouring amenity
- ▶ Standard of accommodation

Conclusion and Planning Balance

- ▶ The proposals relate to the rear part of the building which is of lower historic significance due to the number of later alterations that have taken place
- ▶ As amended, the proposed external alterations are considered to be acceptable in terms of visual impact
- ▶ The proposed arrangement of amenity spaces at ground and lower ground is considered acceptable, subject to the recommended conditions restricting use of the ground-floor terrace and securing obscured glazing to certain windows
- ▶ The proposed terrace at first floor is considered acceptable subject to a condition securing the implementation and retention of the obscured privacy screening
- ▶ Recommend approval, subject to conditions.

